



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Planning Commission

FROM: Laurel O'Halloran, Associate Planner
Mark Brodeur, Director

MEETING DATE: April 24, 2018

ADDRESS: 301 Grand Avenue Pacific Grove, CA 93950
APN: 006-287-012 & 006

SUBJECT: Architectural Permit (AP) Application No. 18-273 to allow the construction of a new 8,931 square foot mixed use two-story structure consisting of 8 apartment units, retail, and a restaurant on the first floor.

APPLICANT: Douglas Roberts, JHW Architects, Inc.

ZONING/LAND USE: C-D / Commercial

CEQA: Section 15332 Class 32 Categorical Exemption

RECOMMENDATION

The project demonstrates consistency with the General Plan and Zoning Ordinance, Staff recommends that the Architectural Review Board:

APPROVE AP 18-273 pursuant to PGMC 23.70.060(c) and subject to the attached Findings and Conditions.

PROJECT DESCRIPTION

Architectural Permit Application No. 18-273 to build a new 8,931 square foot mixed use two-story structure consisting of 7 apartments on the upper floors, one apartment retail and a restaurant on the first floor.

BACKGROUND

The subject site is a street-to-street building site located on the Grand, Laurel and Fountain Avenue. The site is currently two separate parcels which are in the process of becoming one 8,931 square foot parcel with a lot line adjustment that will be recorded with the County. The property is located in the Downtown Commercial (C-D) zoning District.

The current building on site received ARB approval on March 8, 2016 for this same proposed design. On December 13, 2017 the City's Building Official, Taluban Structural Engineer and the Project Manager conducted a site visit and determined the building to be vacated and demolished.

DISCUSSION

Applicable General Plan Goals and Policies

The Grove General Plan provides a framework for future growth and development within the City. The Land Use Element includes goals and polices that call for the orderly, well-planned, and balanced development consistent with the historic nature of Pacific Grove, the capacity of the City's infrastructure, and ability to assimilate new growth. Specific General Plan land use policies relevant to the proposed project include the following:

Chapter 2, Land Use

Policy 12: Promote and maintain a healthy local economy while preserving the local community character.

Policy 14: Promote Pacific Grove businesses and industries.

Policy 16: Attract and retain a variety of businesses and services in the community

Policy 23: Encourage new residential uses in the Downtown, but limited to the upper stories of new and existing buildings.

The proposed restaurant and retail spaces add another key attraction to retain and draw visitors to Pacific Grove. This translates into additional business for local restaurants and stores, and overnight stays for motels and hotels.

Applicable Land Use Plan and Zoning Code Regulations

The City of Pacific Grove General Plan designates the subject parcel as Downtown Commercial. This designation provides for ground floor commercial establishments and upper floor residential and professional uses.

Site Plan Review Committee

A Site Plan Review Committee meeting will be scheduled as part of the approval with the CEDD Director, the Public Works Director, the Building Official, the City Engineer and the Environmental Program Manager for their input on the project and the lot line adjustment.

Lot Line Adjustment

A lot Line adjustment application is on file with the City and as a condition of approval it will need to be approved by the Zoning Administrator and filed with the County before a building permit can be obtained.

Parking

1.3 parking spaces are required per residential unit. The proposed project would require 10.4 spaces. The plans reflect 5 parking spaces on the property the additional 5.4 spaces

will obtain City parking permits located in the 251 Fountain City owned parking lot. The project is located in the Downtown Parking District. Commercial uses may use City parking lots and on-street parking.

STORM WATER TREATMENT MEASURE

The stormwater treatment measures, for commercial projects creating and/or replacing 5,000 sf or more of impervious surface shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.

FINDINGS

Staff recommends if AP 18-273 is approved it must be subject to the recommended findings.

CONDITIONS

Staff recommends if AP 18-273 is approved it must be subject to the recommended conditions.

CEQA

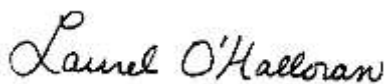
In reviewing this action the City has followed guidelines adopted by the State of California as published in California Administrative Code, Title 14, §15000, et seq. The proposed project is found exempt under the CEQA Guidelines Categorical Exemption Section 15332 Class 32 Infill categorical exemption can be used if the project meets all of the following criteria:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

ATTACHMENTS

- 1. Application materials
- 2. Draft Permit- Attachment 1
- 3. CEQA Materials
- 4. Project Plans

RESPECTFULLY SUBMITTED:



Laurel O'Halloran
Associate Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # AP 18 0273 **Item 7a**

Date: 3-28-18

Total Fees: \$ 3486.50

APPLICANT/OWNER:

Project Address: 301 Grand Avenue APN: 006-287-012#006

Project Description: New Multi-use building to replace pre-existing historic building & planned improvements based on 2016 approval; includes revisions to design for new construction.

Tree Work? Yes No

Applicant

Name: Douglas Roberts, JHW Architects, Inc.

Phone: 831-649-1701

Email: doug@jhwarch.com

Mailing Address: 2400 Garden Rd, Suite C
Monterey CA 93908

Owner

Name: Manal Masour et al.; Dr. Ayman Adeeb

Phone: 831-869-3671

Email: adeebdds@gmail.com

Mailing Address: JMA Residential
PO Box 565
Monterey, CA 93942

PLANNING STAFF USE ONLY:

Permit Request:

- | | | | |
|--|---|--|---|
| <input type="checkbox"/> CRD: Counter Determination | <input type="checkbox"/> SP: Sign Permit | <input type="checkbox"/> LM: Lot Merger | <input type="checkbox"/> EIR: Environmental Impact |
| <input checked="" type="checkbox"/> AP: Architectural Permit | <input type="checkbox"/> UP: Use Permit | <input type="checkbox"/> IHS: Initial Historic Screening | <input type="checkbox"/> VAR: Variance |
| <input type="checkbox"/> AAP: Administrative AP | <input type="checkbox"/> AUP: Administrative UP | <input type="checkbox"/> HPP: Historic Preservation | <input type="checkbox"/> MMP: Mitigation Monitoring |
| <input type="checkbox"/> ADC: Arch Design Change | <input type="checkbox"/> ADU: Acc. Dwelling Unit | <input type="checkbox"/> A: Appeal | <input type="checkbox"/> Stormwater Permit |
| <input type="checkbox"/> ASP: Admin Sign Permit | <input type="checkbox"/> LLA: Lot Line Adjustment | <input type="checkbox"/> TPD: Tree Permit W/ Dev't | <input type="checkbox"/> Other: _____ |

CEQA Determination:

- Exempt
- Initial Study & Mitigated Negative Declaration
- Environmental Impact Report

Review Authority:

- Staff
- HRC
- ZA
- PC
- SPRC
- CC
- ARB
- _____

Active Permits:

- Active Planning Permit
- Active Building Permit
- Active Code Violation
- Permit #: _____

Overlay Zones:

- Butterfly Zone
- Coastal Zone
- Area of Special Biological Significance (ASBS)
- Environmentally Sensitive Habitat Area (ESHA)

Property Information

Lot: 1, 2 + 3

Block: 35

Tract: 1st Addition to PG

ZC: C-D

GP: Commercial

Lot Size: _____

Historic Resources Inventory

Archaeologically Sensitive Area

Staff Use Only:

Received by: Laurel

Assigned to: _____

PAID
\$ 3,486.50
3/28/18

MAR 28 2018

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT.

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

I further acknowledge it is my responsibility to determine whether additional permits are required.

Applicant Signature: Douglas Roberts

Date: 3-23-18

Owner Signature (Required): Manal Masour

Date: 3-23-18

PROJECT DATA SHEET

Project Address: 301 Grand Avenue Submittal Date: 03/28/18
 Applicant(s): Douglas Roberts, JHW Architects Permit Type(s) & No(s): _____

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	C-D	C-D	C-D	
Building Site Area		5670 (+180)	7560	
Density (multi-family projects only)		230/acre	460/acre	
Building Coverage		4286	4280	
Site Coverage		6173	6930	
Gross Floor Area <u>w/2nd Floor</u>		6179*	8931	* Prior to demo
Square Footage not counted towards Gross Floor Area				
Impervious Surface Area Created and/or Replaced			5,505	
Exterior Lateral Wall Length to be demolished in feet & % of total*			__ ft/ __ %	
Exterior Lateral Wall Length to be built				
Building Height	10'	27'	31' MAX.	
Number of stories	2?	2		
Front Setback	0	0	0	
Side Setback (specify side)	0	0	0	
<u>South</u> Side Setback (specify side)	0	OK	OK	30' to new lot line w/merger.
Rear Setback	5'?	0	0	
Garage Door Setback	-	N/A	N/A	
Covered Parking Spaces	0		N/A	
Uncovered Parking Spaces	10.4	5	5	
Parking Space Size (Interior measurement)	9' x 20'		± 9' x 20'	(same as existing)
Number of Driveways	1		1	
Driveway Width(s)	14'		Same	(same as existing)
Back-up Distance				
Eave Projection (Into Setback)	3' maximum		N/A	
Distances Between Eaves & Property Lines	3' minimum		N/A	
Open Porch/Deck Projections			N/A	
Architectural Feature Projections				Canopies/Trim details
Number & Category of Accessory Buildings	0		N/A	
Accessory Building Setbacks	-		N/A	
Distance between Buildings	-		N/A	
Accessory Building Heights	-		N/A	
Fence Heights	-		6'	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

RECEIVED
MAR 28 2018

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

ARCHITECTURAL PERMIT (AP) 18-273

FOR A COMMERCIAL PROPERTY LOCATED AT 301 GRAND AVENUE ARCHITECTURAL PERMIT (AP) APPLICATION NO. 18-273 TO ALLOW THE CONSTRUCTION OF A NEW 8,931 SQUARE FOOT MIXED USE TWO-STORY STRUCTURE CONSISTING OF 8 APARTMENT UNITS, RETAIL, AND A RESTAURANT ON THE FIRST FLOOR.

FACTS

1. The subject site is located at 301 Grand Avenue, Pacific Grove, 93950 APN 006-287-012 & 006
2. The subject site has a designation of Commercial on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the C-D zoning district.
4. The subject site is 7,560 square feet.
5. The subject site was developed with a 6,179 sf mixed use building with retail and apartments.
6. The City's Building Official determined the building to be vacated and demolished.
7. The subject site is an Area of Special Biological Significance.
8. The existing structure was on the Historic Resources Inventory.
9. The existing structure received ARB approval in march of 2016 for this same submitted design.
10. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15332 Class 32 Categorical Exemption

FINDINGS

1. The proposed development will meet the development regulations set forth in the C-D zoning district including setbacks and height requirements and;
2. The proposed 8,931 sf mixed use-tenant retail service facility are consistent with the General Plan because mixed use implements General Plan Land Use Policy 12, 14 and 23
3. The establishment, maintenance, and operation of the 8,931 sf mixed use-tenant retail service facility, associated site improvements and restaurant uses will not be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.
4. The use, as described and conditionally approved, will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city, because the 8,108 sf mixed use-tenant retail service facility will enhance the commercial offerings for Pacific Grove residents, employees and tourists, a positive economic benefit.
5. The location, size, design, and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity in that the 8,108 sf mixed use-tenant retail service facility will contribute vitality to the downtown commercial area.
6. In reviewing this action, the City has followed guidelines adopted by the State of California as published in California Administrative Code, Title 14, §15000, et seq. Should AP 18-273 be approved, the action would be a Class 32 S. 15332 Categorical Exemption under CEQA Guidelines Section.
7. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;

PERMIT

Architectural Permit (AP) 18-273:

To allow the construction of a new 8,931 square foot mixed use two-story structure consisting of 8 apartment units, retail, and a restaurant on the first floor.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the Community and Economic Development Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
6. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
7. **Lot Line Adjustment:** A lot merge of the existing two separate parcels must be approved by the Zoning Administrator and filed with the Monterey County before a building permit may be issued.
8. **Parking:** A required 1.3 parking spaces per residential unit. The proposed project would require 10.4 spaces. The plans reflect 5 parking spaces on the property the additional 5.4 spaces will obtain City parking permits located in the 251 Fountain City owned parking lot. The project is located in the Downtown Parking District. Commercial uses may use City parking lots and on-street parking.
9. **Construction Hours.** No construction shall be conducted before 8:30 a.m. or after 5:00p.m. Monday through Friday and for windows to be shut during interior construction. Contractors are required to park in the City lot.
10. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of Architectural Permit (AP) 18-273.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 24th day of April, 2018, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Sarah Boyle, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Manal Masour, Owner

Date



CITY OF PACIFIC GROVE
Community Development Department – Planning Division
300 Forest Avenue, Pacific Grove, CA 93950
T: 831.648.3190 • F: 831.648.3184 • www.ci.pg.ca.us/cdd
NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: 301 Grand Ave, Pacific Grove, CA 93950

Project Description: AP 180273

Description: To build a new 8,931 square foot multi-use building.

APN: 006287012000

ZC: C-1

Lot Size: 7,560 square feet

Applicant Name:	Douglas Roberts, JHW Architects, Inc.	Phone #:	(831) 649-1701
Mailing Address:	2400 Garden Road, Monterey CA 93908		
Email Address:	doug@jhwarch.com		

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1);15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption
Type and Section Number: Section 15332 Class 32
- Statutory Exemption
Type and Section Number:
- Other:

Exemption Findings:
In reviewing this action the City has followed guidelines adopted by the State of California as published in California Administrative Code, Title 14, §15000, et seq. The proposed project is found exempt under the CEQA Guidelines Categorical Exemption Section 15332 Class 32 Infill categorical exemption can be used if the project meets all of the following criteria: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered, rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.

Contact: Laurel OHalloran, Planning Department, City of Pacific Grove

Contact Phone: (831) 648-3183

Signature: Laurel O'Halloran

Date: April 12, 2018

301 Grand Ave



301 Grand Ave
Pacific Grove, CA 93950





FORMER BUILDING ON SITE

MIXED-USE BUILDING

301 GRAND AVE,
PACIFIC GROVE, CA 93950

ARCHITECT :
DOUGLAS ROBERTS, AIA
JHW ARCHITECTS, INC
2400 GARDEN ROAD, SUITE C
MONTEREY, CA 93940
831-649-1701

OWNER'S SEPARATE CONSULTANTS:

CIVIL ENGINEER:
MONTEREY BAY ENGINEERS, INC.

STRUCTURAL ENGINEER:
TALUBAN ENGINEERING, INC.

MECHANICAL ENGINEER:
LIST ENGINEERING, INC.

ELECTRICAL ENGINEER:
AURUM CONSULTING ENGINEERS, INC

DRAWING INDEX

- ARCHITECTURAL**
- A-1 COVER
 - C-1 TOPOGRAPHIC SURVEY (PRE-DEMO)
 - A-2 SITE PLAN, SITE DETAILS
 - A3.1 FIRST FLOOR PLAN
 - A3.2 SECOND FLOOR PLAN
 - A-5 ROOF PLAN
 - A-6 EXTERIOR ELEVATIONS
 - A-8 BUILDING SECTIONS

JHW
ARCHITECTS INC. ■
2400 GARDEN ROAD
SUITE C
MONTEREY, CA 93940
(831) 649-1701
FAX (831) 649-3072
www.jhwarch.com



PROJECTION: N

MIXED-USE BUILDING

AT
301 GRAND AVENUE
PACIFIC GROVE, CA 93955

OWNER
Dr. Ayman Adee, et al
656 Munras Ave
Monterey, CA 93940
(831) 920-2127

APN: 006-287-012 & 006

DRAWN BY: dr, jt
PRINT DATE: 04/10/18
DRAWING DATE: 04/10/18
DATE ISSUED FOR CONSTRUCTION:
REVISIONS:

RECEIVED
APR 11 2018

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

SHEET TITLE:

INDEX LEGENDS & NOTES

SHEET NUMBER:

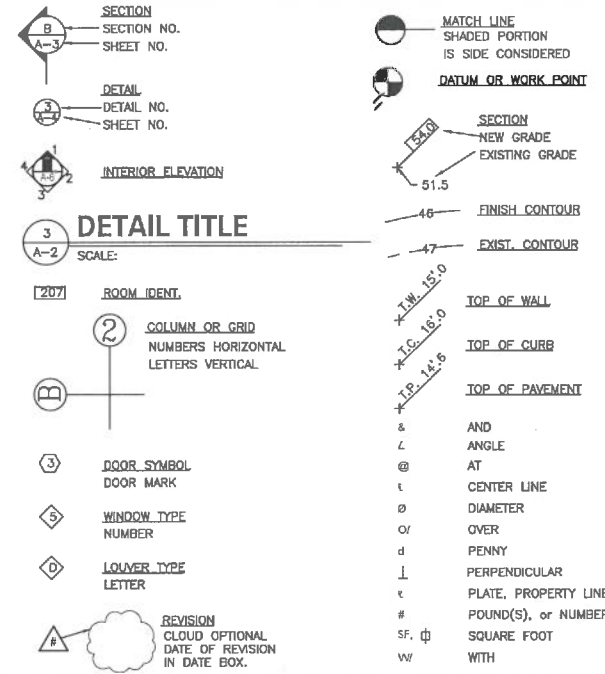
A1

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE SITE FOR WHICH THEY WERE PREPARED, AND NO LIABILITY IS TO BE ASSUMED BY THE ARCHITECT FOR ANY REUSE OR REPRODUCTION OF THESE PLANS AND SPECIFICATIONS IN WHOLE OR IN PART FOR OTHER PROJECTS. THE ARCHITECT'S OFFICE SHALL BE CONTACTED BY ANY METHOD REQUIRING WRITTEN CONTACT WITH THE ARCHITECT, AND VISUAL CONTACT WITH THESE COMMITMENTS SHALL BE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

ABBREVIATIONS

A.B. ANCHOR BOLT	LAV. LAVATORY
A.C. ASPHALTIC CONCRETE	LB, LBS POUND(S)
ADJ. AREA DRAIN	LT. LIGHT
ALUM. ALUMINUM	MAX. MAXIMUM
ANOD. ANODIZED	M.B. MACHINE BOLT
BD. BOARD	M.C. MACHINE CABINET
BLDG. BUILDING	MECH. MECHANICAL
BLK. BLOCK	MEMB. MEMBRANE
BM. BEAM	MFR. MANUFACTURER
C.B. CATCH BASIN	MIN. MINIMUM
CEM. CEMENT	MISC. MISCELLANEOUS
C.I. CAST IRON	(N) NEW
C.J. CONSTRUCTION JOINT	N.I.C. NOT IN CONTRACT
CLG. CEILING	NO. NUMBER
C.M.U. CONCRETE MASONRY UNIT	N.T.S. NOT TO SCALE
COL. COLUMN	OBS. OBSOLETE
CONC. CONCRETE	O.C. ON CENTER
CONN. CONNECTION	OWNER FURNISHED,
CONT. CONTINUOUS	CONTRACTOR INSTALLED
C.O. CLEAN OUT	OWNER FURNISHED,
DBL. DOUBLE	OWNER INSTALLED
D.F. DRINKING FOUNTAIN	PL. PLATE
D.F. DOUGLAS FIR	P.LAM. PLASTIC LAMINATE
DET. DETAIL	PLAST. PLASTER
DIA. DIAMETER	PWD. PLYWOOD
DN. DOWN	PR. PAIR
DR. DOOR	P.S.F. POUNDS per SQUARE FOOT
DS. DOWN SPOUT	P.S.I. POUNDS per SQUARE INCH
DWG. DRAWING	P.T. PRESSURE TREATED
(E) EXISTING	P.V.C. POLY VINYL CHLORIDE PLASTIC
E.A. EACH	R. RISER
E.J. EXPANSION JOINT	R.D. ROOF DRAIN
E.P.D.M. SYNTHETIC RUBBER CLOSURE STRIP	REF. REFRIGERATOR
EQ. EQUAL	REINF. REINFORCED
EXT. EXTERIOR	RM. ROOM
F.A. FIRE ALARM	R.O. ROUGH OPENING
F.D. FLOOR DRAIN	RWD. REDWOOD
F.E. FIRE EXTINGUISHER	S.B. SOLID BLOCKING
EWC. ELECTRIC WATER COOLER	S.C. SOLID CORE
F.E.C. FIRE EXTINGUISHER CAB	S.F., SF SQUARE FOOT (FEET)
FIN. FINISH	SH. SHEET
FLR. FLOOR	SIM. SIMILAR
FLASH. FLASHING	S.M. SHEET METAL
FLUOR. FLUORESCENT	S&P SHELF AND POLE
F.O.C. FACE OF CONCRETE	SPEC. SPECIFICATION
F.O.M. FACE OF MASONRY	SQ. SQUARE
F.O.S. FACE OF STUD	S.S. STAINLESS STEEL
F.R.P. FIBER REINFORCED PLASTIC	T. TREAD
FT. FOOT or FEET	T.B. TYPICAL BOUNDARY NAILING
FUR. FURRING	T.C. TOP OF CURB
GA. GAUGE	T.E.N. TYPICAL EDGE NAILING
GALV. GALVANIZED	T&G TONGUE AND GROOVE
G.I. GALVANIZED IRON	T.S. TUBE STEEL
G.B. GRAB BAR	T.V. TELEVISION
GL. GLASS	TYF. TYPICAL
GYP. GYPSUM	U.O.N. UNLESS OTHERWISE NOTED
GWB. GYPSUM WALL BOARD	V.G. VERTICAL GRAIN
H.B. HOSE BIB	W/ WITH
H.C. HOLLOW CORE	WD. WOOD
HDR. HEADER	W.H. WATER HEATER
H.M. HOLLOW METAL	W/O WITH OUT
HORIZ. HORIZONTAL	W.P.M. WATERPROOF MEMBRANE
HR. HOUR	WT. WEIGHT
INSUL. INSULATION	W.W.M. WELDED WIRE MESH
INT. INTERIOR	W.W.F. WELDED WIRE FABRIC
JT. JOINT	
LAM. LAMINATE	

SYMBOLS



CODE COMPLIANCE

- | | |
|---|---------------|
| 2016 BUILDING STANDARDS ADMIN CODE, | PART 1, CBSC |
| 2016 CALIFORNIA BUILDING CODE (CBC), | PART 2, CBSC |
| 2016 CALIFORNIA ELECTRICAL CODE (CEC), | PART 3, CBSC |
| 2016 CALIFORNIA MECHANICAL CODE (CMC), | PART 4, CBSC |
| 2016 CALIFORNIA PLUMBING CODE (CPC), | PART 5, CBSC |
| 2016 CALIFORNIA ENERGY CODE, | PART 6, CBSC |
| 2016 CALIFORNIA FIRE CODE, | PART 9, CBSC |
| 2016 CA GREEN BLDG STDS CODE (CALGREEN) | PART 11, CSBC |

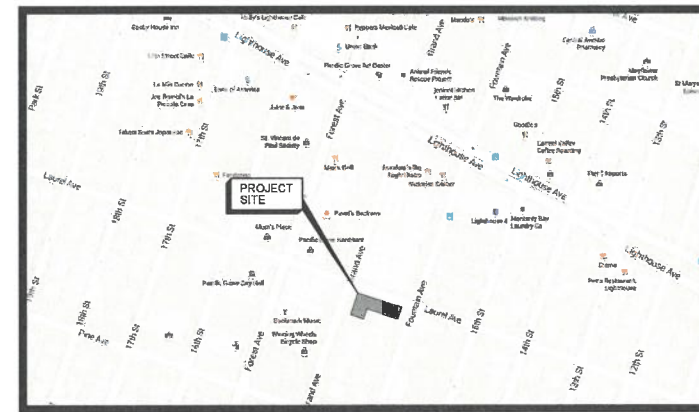
MATERIALS

	EARTH		WOOD, FINISH
	ROCK		WOOD FRAMING
	SAND, MORTAR, PLASTER		WOOD BLOCKING
	CONCRETE BLOCK, BRICK		PLYWOOD
	CONCRETE		GYPSUM WALLBOARD
	EXISTING STUD WALL TO REMAIN		RIGID INSULATION
	REMOVE EXISTING STUD WALL		ACOUSTIC TILE
	NEW STUD WALL W/ BATT INSUL.		A.C. PAVING
	(E) STUD WALL, ADD 1 HR. CONSTR.		METAL
	(N) STUD WALL W/ BATT INSULATION		

SCOPE OF WORK

NEW TWO STORY BUILDING, mixed use, with residences on second floor, accessible residence on first floor. Includes sitework to improve parking and accessibility. Design is intended to generally follow the 2016 approved design for the rehabilitation of the previous existing historic building that had to be demolished, with modifications to simplify construction, improve disabled access and other conditions.

VICINITY MAP



PROJECT DATA

CONSTRUCTION TYPE: TYPE V-B, SPRINKLERED.

FIRST FLOOR AREA:	4,507 SF
SECOND FLOOR AREA:	4,374 SF
TOTAL:	8,881 SF

OCCUPANCIES:

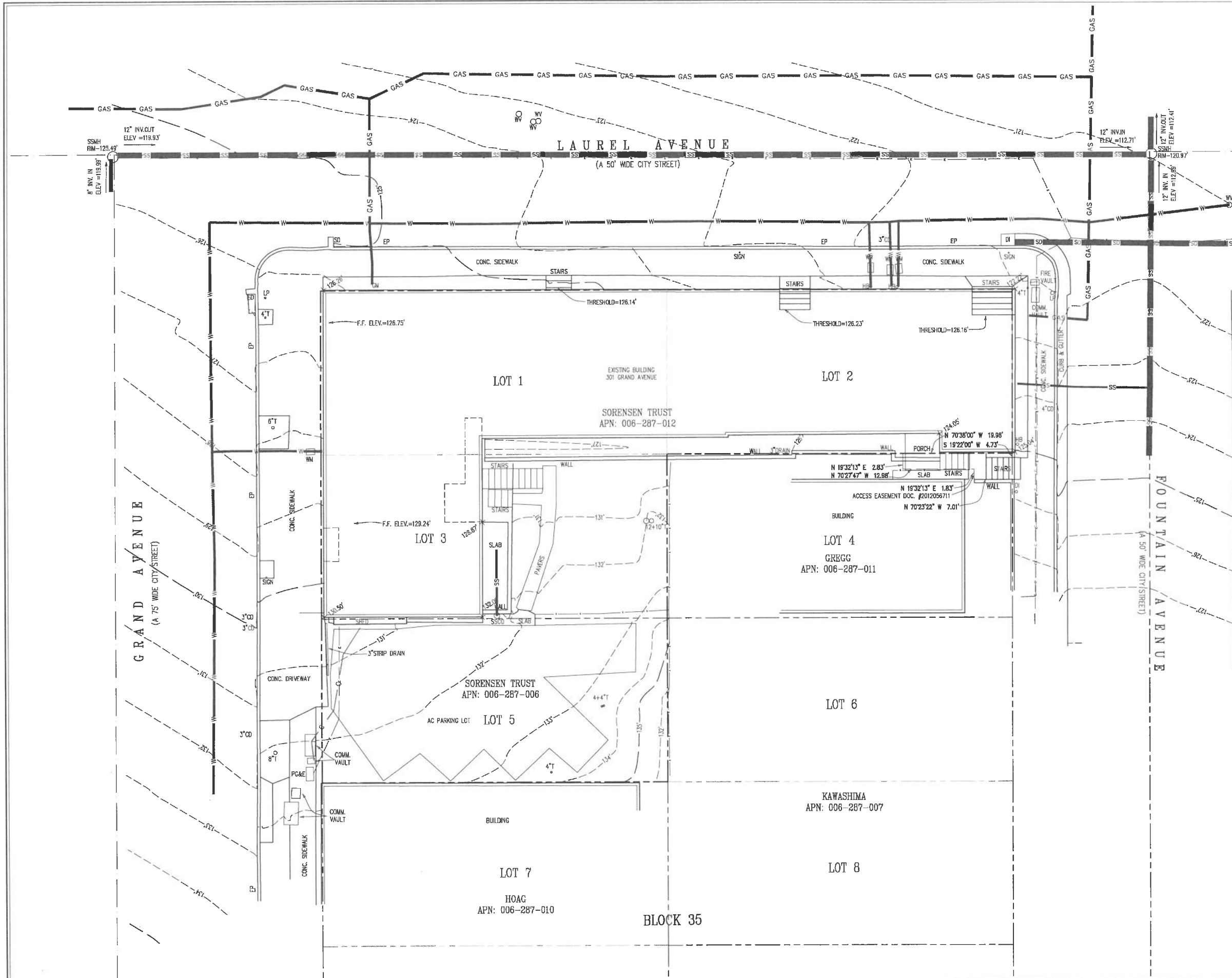
FIRST FLOOR = COMMERCIAL TENANT AREAS EXCEPT 537 SF R-2 OCCUPANCY.
 * POTENTIAL TENANTS INCLUDE B, M, AND A-2 OCCUPANCIES. MOST RESTRICTIVE FOR FLOOR AREA IS A-2. IF A-2 OCCUPANCY IS INCLUDED AT FUTURE TIME, 1-HOUR SEPARATIONS FROM THE OTHER USES WILL BE REQUIRED. CURRENT PLANS INCLUDE A B-OCCUPANCY DENTAL OFFICE.
 SECOND FLOOR = R-2 APARTMENTS. ALL R-2 APARTMENTS ARE TO BE 1-HOUR SEPARATED FROM OTHER POTENTIAL USES LISTED PER SECTION 508.4, AND 30 MINUTE SEPARATED BETWEEN EACH OTHER IN A SPRINKLERED BUILDING, PER SECTION 708.3, EXCEPTION 2.

ALLOWABLE AREAS:

PER CBC 505.6.4, EACH FLOOR MUST COMPLY INDIVIDUALLY FOR MIXED OCCUPANCY. PER CBC 508.4.2, THE BUILDING AREA SHALL SUCH THAT THE RATIOS OF ACTUAL, DIVIDED BY ALLOWABLE SHALL NOT EXCEED 1. TABULAR ALLOWABLE AREA IS ESTABLISHED BY THE FOLLOWING. 505.6.4 ALLOWS AN INCREASE BASED ON STREET FRONTAGES, BUT THE BUILDING MEETS CODE USING ONLY THE TABULAR AREAS, SO THE STREET FRONTAGE INCREASE IS NOT INCLUDED BELOW.

A1 = 18,000 SF for A-2 OCCUPANCY, NO HEIGHT INCREASE (27,000 SF FOR B OR M OCCUPANCIES); 7,000 SF FOR R-2 OCCUPANCY WITH MINIMUM NFPA 13R SPRINKLER SYSTEM.

FIRST FLOOR = (3,190 SF/ 18,000 SF) + (563 SF/ 7,000 SF) = 0.25<1, THEREFORE OK.
 SECOND FLOOR = 3,559 SF/ 7,000 SF = 0.55<1, THEREFORE OK.



NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- ELEVATIONS SHOWN ARE BASED ON NAD-29 DATUM. THE BENCHMARK IS A CITY OF PACIFIC GROVE "SQUARE ON CURB" AT THE SOUTHWEST CORNER OF GRAND AVE. & LAUREL AVE. ELEVATION = 126.85'.
- BOUNDARY INFORMATION SHOWN USING MONUMENTATION FROM VOLUME 1 CITIES AND TOWNS PAGE 10, BLOCK 35 AND LOTS WITHIN BLOCK 35 DIMENSIONS SHOWN ARE FROM AN UNRECORDED MAP ENTITLED "OFFICIAL MAP OF THE CITY OF PACIFIC GROVE, COMPILED FROM OFFICIAL RECORDS AND SURVEYS BY H.D. SEVERANCE CITY ENGINEER, 1927."
- CONTOUR INTERVAL = 1 FOOT.
- +99.99' DENOTES GROUND ELEVATIONS AS SHOWN.
- TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.

LEGEND:

- FENCE LINE
- AC ASPHALTIC CONCRETE
- CD CURB DRAIN
- COMM COMMUNICATION
- CONC CONCRETE
- DI DROP INLET
- ELEV. ELEVATION
- EM ELEVATION METER
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- GM GAS METER
- HB HOSE BIB
- LP LIGHT POST
- PC&E PC&E VAULT
- SD STORM DRAIN PIPE
- SSCO SANITARY SEWER CLEAN OUT
- SSMH SANITARY SEWER MANHOLE
- T TREE, SPECIES NOT SPECIFIED
- WM WATER METER
- WV WATER VALVE



PDF IMAGE PROVIDED FOR CONVENIENCE ONLY. SIGNED HARD COPY IS FINAL WORK PRODUCT.

TOPOGRAPHIC SURVEY
OF
LOT 1,2,3 & 5, BLOCK 35
PACIFIC GROVE RETREAT
VOLUME 1, CITIES & TOWNS, PAGE 10

CITY OF PACIFIC GROVE COUNTY OF MONTEREY STATE OF CALIFORNIA
PREPARED FOR
SCOTT SORENSEN

BY
MONTEREY BAY ENGINEERS, INC.
CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING
607 Charles Ave Suite B Seaside, California 93955
Phone: (831) 899-7889

SCALE: 1" = 8' JOB No. 15-012 MARCH 2015
FIELD: AL & JMS UPDATED 12/11/17 (BCW) DRAWN BY: JMS

JHW
ARCHITECTS INC. ■
2400 GARDEN ROAD
SUITE C
MONTEREY, CA 93940
(831) 649-1701
FAX (831) 649-3072
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PROJECT OWNER

MIXED-USE BUILDING

AT
301 GRAND AVENUE
PACIFIC GROVE, CA 93955

OWNER
Dr. Ayman Adeeb, et al
656 Munras Ave
Monterey, CA 93940
(831) 920-2127

APN: 006-287-012 & 006

DRAWN BY: dr, jr
PRINT DATE: 04/10/18
DRAWING DATE: 04/10/18
DATE ISSUED FOR CONSTRUCTION:
REVISIONS:

PROJECT DATA	
BLDG. COVERAGE:	4,280 SF
SITE COVERAGE:	6,930 SF
GROSS FLOOR AREA:	8,931 SF
IMPERVIOUS:	5,505 SF

INFORMATION FROM SITE SURVEY BY
MONTEREY BAY ENGINEERS, INC.

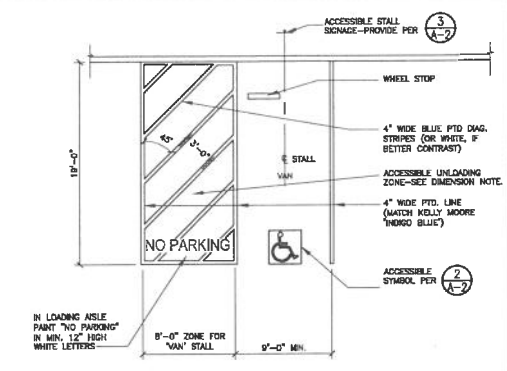
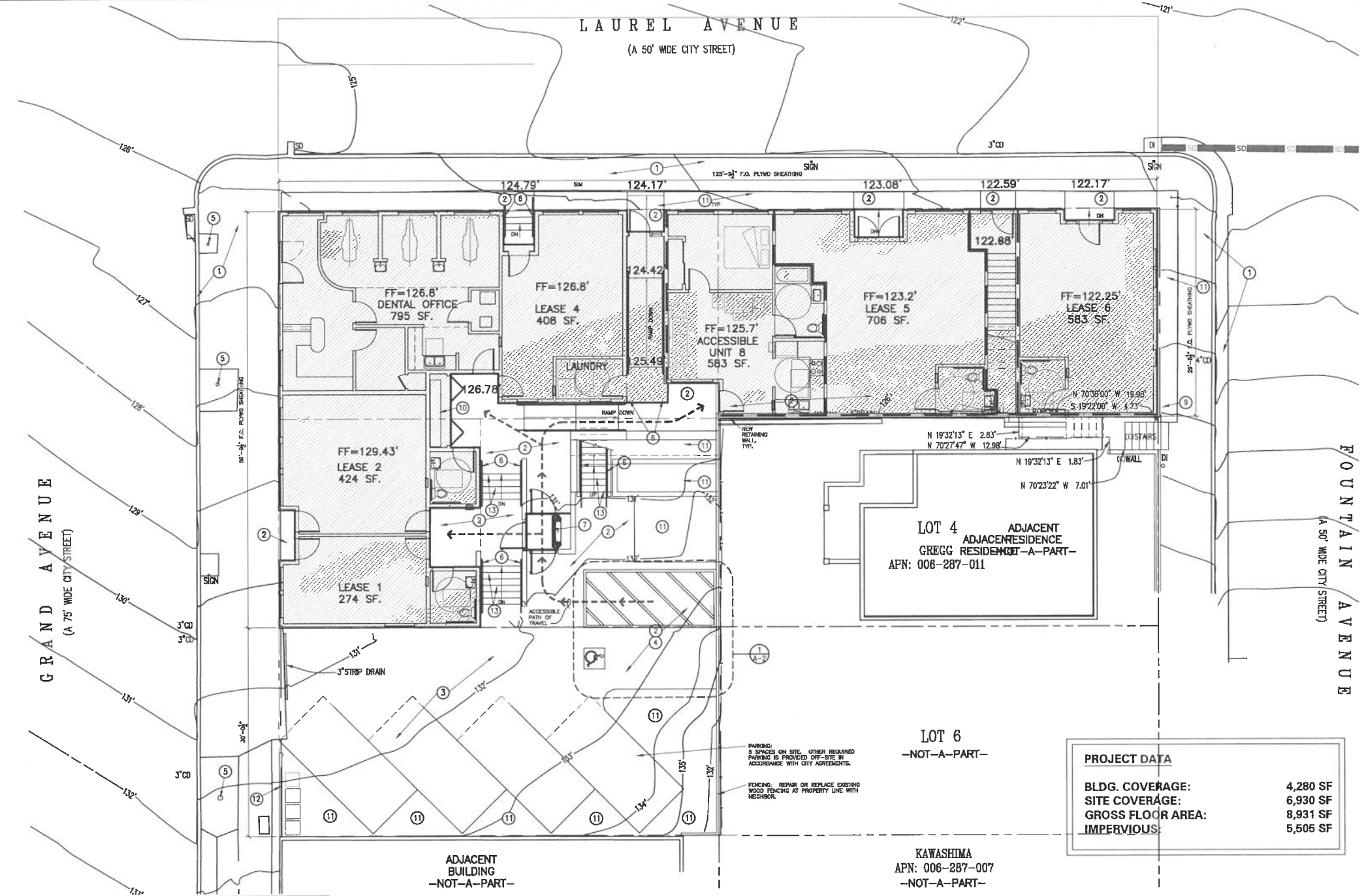
SHEET TITLE:

NEW SITE PLAN

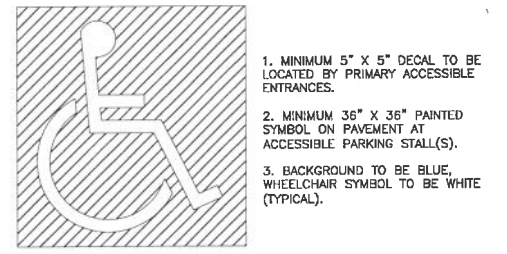
SHEET NUMBER:

A-2

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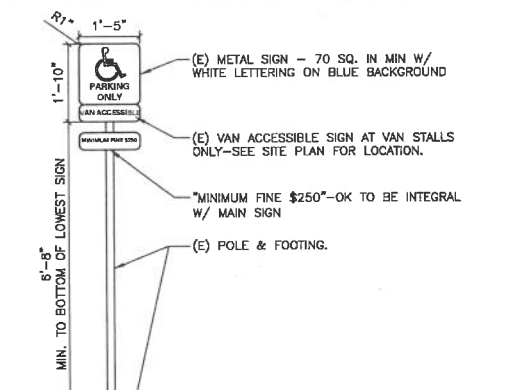


1 ACCESSIBLE PARKING STALL
SCALE: 1/2" = 1'-0"

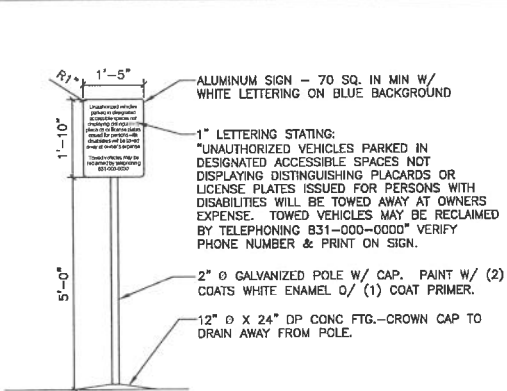


INTERNATIONAL SYMBOL OF ACCESSIBILITY

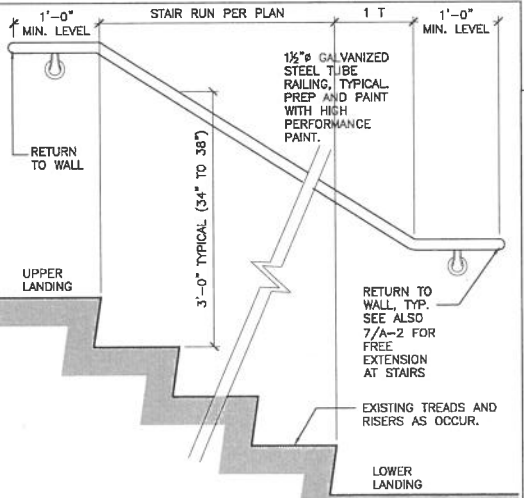
2 ACCESSIBILITY SYMBOL
SCALE: 1/2" = 1'-0"



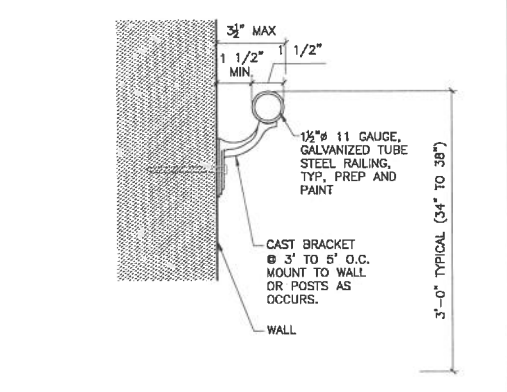
3 STANDARD ACCESSIBLE STALL SIGN
SCALE: 1/2" = 1'-0"



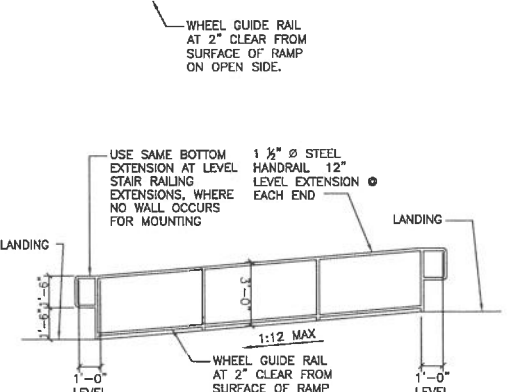
4 STANDARD TOW-AWAY SIGN
SCALE: 1/2" = 1'-0"



5 HANDRAIL TERMINATION
SCALE: 1" = 1'-0"



6 TYPICAL NEW HANDRAIL AT STAIRS
SCALE: 3" = 1'-0"



7 TYPICAL RAMP HANDRAIL
SCALE: 1/2" = 1'-0"

NEW SITE PLAN
SCALE: 1/8" = 1'-0"

- KEYED NOTES:**
- EXISTING SIDEWALK / CURB & GUTTER TO REMAIN. PROTECT IN PLACE, AND REPAIR ALL DAMAGE DUE TO CONSTRUCTION OPERATIONS, TO MEET CITY STDS.
 - NEW 4" CONCRETE PAVING. 2500 PSI MIN, W/ #4 @ 18" EA. WAY, TYPICAL. SEE CIVIL.
 - NEW PERMEABLE PAVING IN GENERAL PARKING AND DRIVEWAY. SEE CIVIL.
 - ACCESSIBLE PARKING SPACE. 8' ACCESS AISLE ON LEFT SIDE DUE TO SITE CONSTRAINTS.
 - NOT USED -
 - NEW HANDRAILS PER DETAILS 5 THRU 7 OF THIS DRAWING, AS APPLY.
 - NEW DISABLED ACCESS LIFT. GARVENTA 3747-IG-A "GENESIS". PLATFORM OPEN TO SKY. PROVIDE FULL COASTAL ANTI-CORROSION PACKAGE. 3 STOPS, TO PROVIDE ACCESSIBLE PATH TO ALL LEVELS AT GROUND FLOOR.
 - NOT USED -
 - LOCATE FIRE RISER IN THIS AREA.
 - MAIN ELECTRICAL PANEL CLOSET WITH METERS.
 - LANDSCAPING TO BE PROVIDED BY OWNER IN THIS AREA.
 - 8" WOOD FENCE TO SCREEN PARKING FROM STREET.
 - CONTRASTING NOSING AT ALL TREADS OF EXTERIOR STAIRS, TYPICAL.

9/15/2018 10:00 AM JHW ARCHITECTS INC. 4/10/2018 12:38 PM, CHITREZ



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PROJECT/OWNER

MIXED-USE BUILDING

AT
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PACIFIC GROVE, CA 93955

OWNER
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Monterey, CA 93940
(831) 920-2127

APN: 006-287-012 & 006

DRAWN BY: dr, jt
PRINT DATE: 04/10/16
DRAWING DATE: 04/10/16
DATE ISSUED FOR CONSTRUCTION:
REVISIONS:

SHEET TITLE:
NEW FIRST FLOOR PLAN

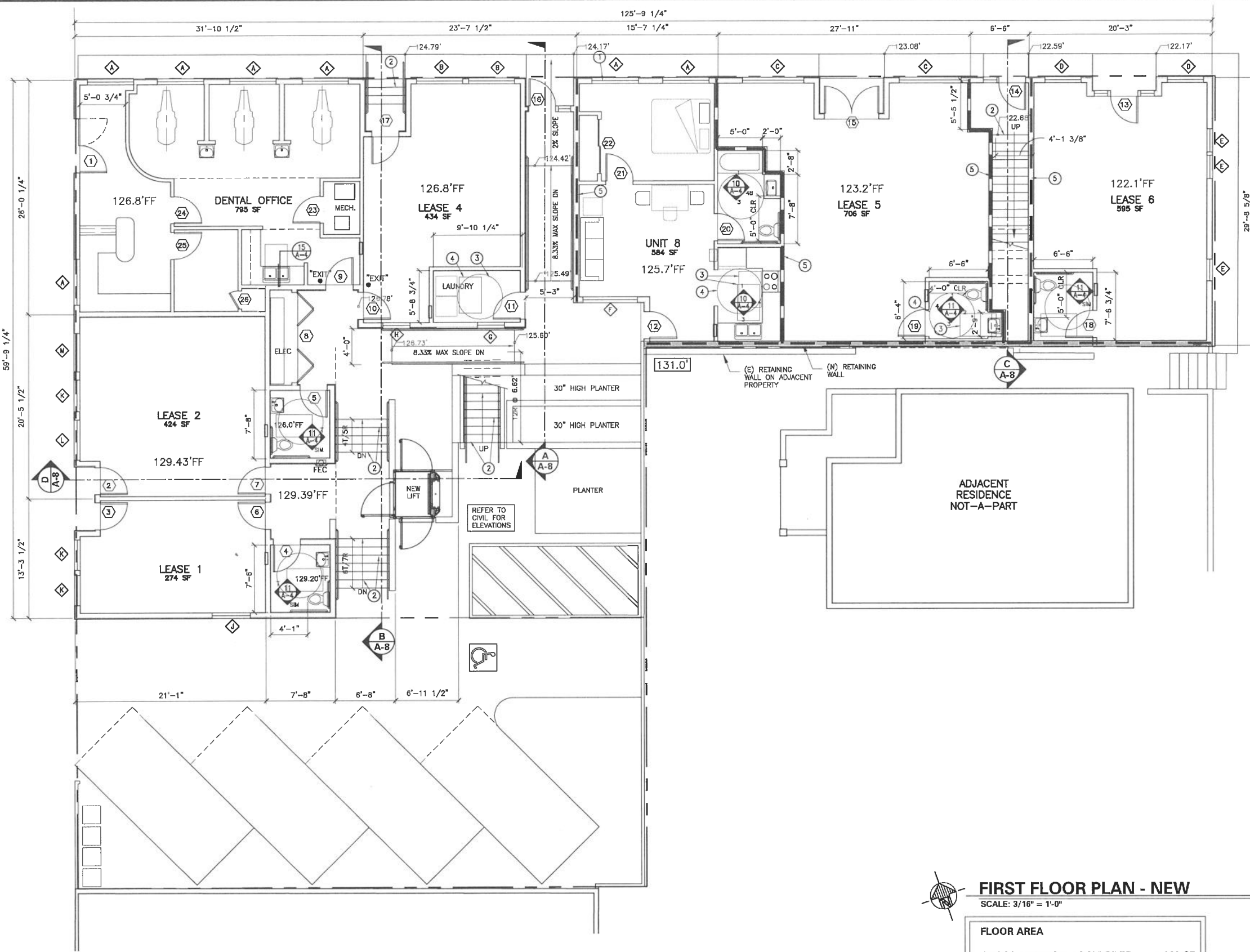
SHEET NUMBER:

A-3.1

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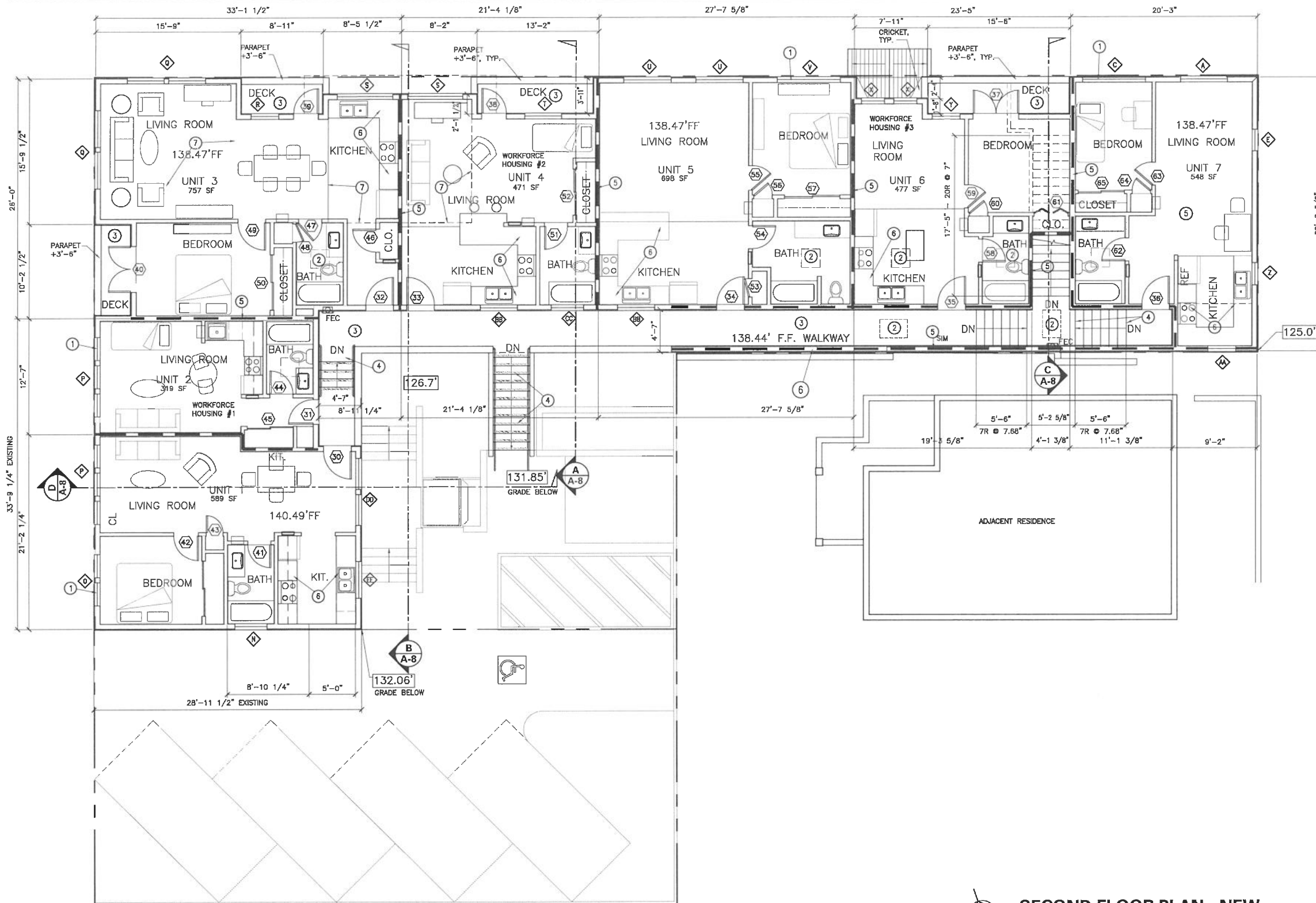
KEYED NOTES:

- ① EGRESS WINDOW: 20" MIN WIDTH x 24" MIN HEIGHT CLEAR, WITH 5.75" MINIMUM CLEAR OPENING
- ② PROVIDE CONTRASTING NOSING AT ALL TREADS AT EXTERIOR STAIRS, AND TOP AND BOTTOM TREADS OF EACH RUN AT INTERIOR STAIRS
- ③ 30"x48" CLEAR SPACE, TYPICAL
- ④ 60" DIAMETER TURN-AROUND, TYPICAL
- ⑤ ONE-HOUR WALL CONSTRUCTION, TYPICAL WHERE INDICATED: 2X STUDS AT 16" O.C. WITH 3" BATT INSULATION, 1/2" RESILIENT CHANNELS ONE SIDE, AND ONE LAYER 5/8" TYPE 'X' GWB BOTH SIDES.
- ⑥ --



FIRST FLOOR PLAN - NEW
SCALE: 3/16" = 1'-0"

FLOOR AREA	
GROSS INTERIOR (FOOTPRINT):	4,280 SF
EXTERIOR COVERED:	327 SF
TOTAL	4,607 SF



KEYED NOTES:

- ① EGRESS WINDOW: 20" MIN WIDTH x 24" MIN HEIGHT CLEAR, WITH 5.75" MINIMUM CLEAR OPENING
- ② SKYLIGHT ABOVE, TYP.
- ③ DECK - BITUTHENE BELOW GRADE WATERPROOFING UNDER 2" FIBER-REINFORCED CONCRETE TOPPING. SLOPE TO DRAIN. PROVIDE SCUPPER THROUGH WALL.
- ④ PROVIDE CONTRASTING NOSING AT ALL TREADS AT EXTERIOR STAIRS, AND TOP AND BOTTOM TREADS OF EACH RUN AT INTERIOR STAIRS
- ⑤ ONE-HOUR WALL CONSTRUCTION, TYPICAL WHERE INDICATED: 2X STUDS AT 16" O.C. WITH 3" BATT INSULATION, 1/2" RESILIENT CHANNELS ONE SIDE, AND ONE LAYER 5/8" TYPE "X" GWB BOTH SIDES.
- ⑥ PROVIDE UPPER AND LOWER CABINET IN KITCHENS
- ⑦ VAULTED CEILING IN THIS AREA



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PRINT DATE: 03/27/18
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SECOND FLOOR PLAN - NEW
SCALE: 3/16" = 1'-0"

FLOOR AREA	
GROSS INTERIOR (FOOTPRINT):	4,149 SF
EXTERIOR COVERED:	225 SF
TOTAL	4,374 SF

SHEET TITLE:
NEW SECOND FLOOR PLAN

SHEET NUMBER:

A3.2

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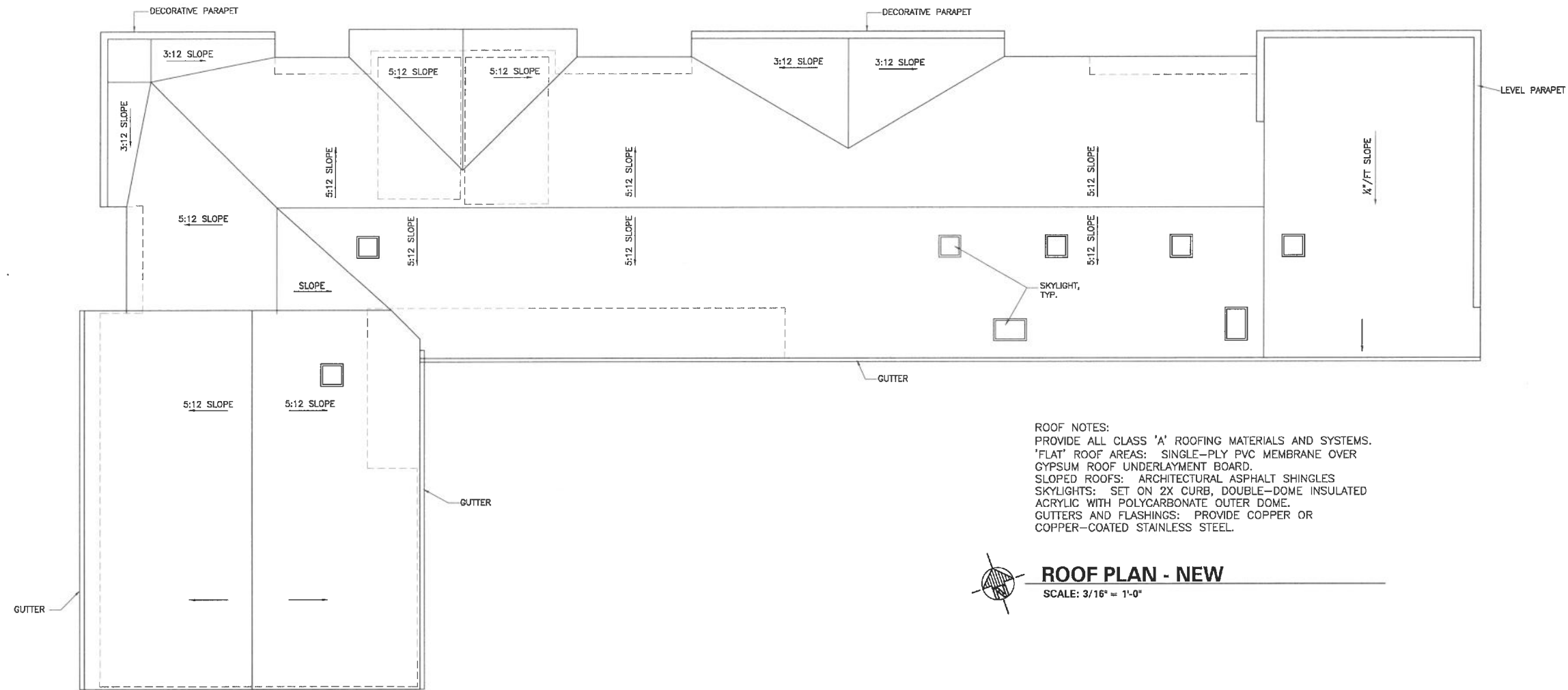
SHEET TITLE:

**ROOF
PLAN
NEW**

SHEET NUMBER:

A-5

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ROOF NOTES:
PROVIDE ALL CLASS 'A' ROOFING MATERIALS AND SYSTEMS.
'FLAT' ROOF AREAS: SINGLE-PLY PVC MEMBRANE OVER GYPSUM ROOF UNDERLAYMENT BOARD.
SLOPED ROOFS: ARCHITECTURAL ASPHALT SHINGLES
SKYLIGHTS: SET ON 2X CURB, DOUBLE-DOME INSULATED ACRYLIC WITH POLYCARBONATE OUTER DOME.
GUTTERS AND FLASHINGS: PROVIDE COPPER OR COPPER-COATED STAINLESS STEEL.

ROOF PLAN - NEW
SCALE: 3/16" = 1'-0"



PROJECT/OWNER

MIXED-USE BUILDING

AT
301 GRAND AVENUE
PACIFIC GROVE, CA 93955

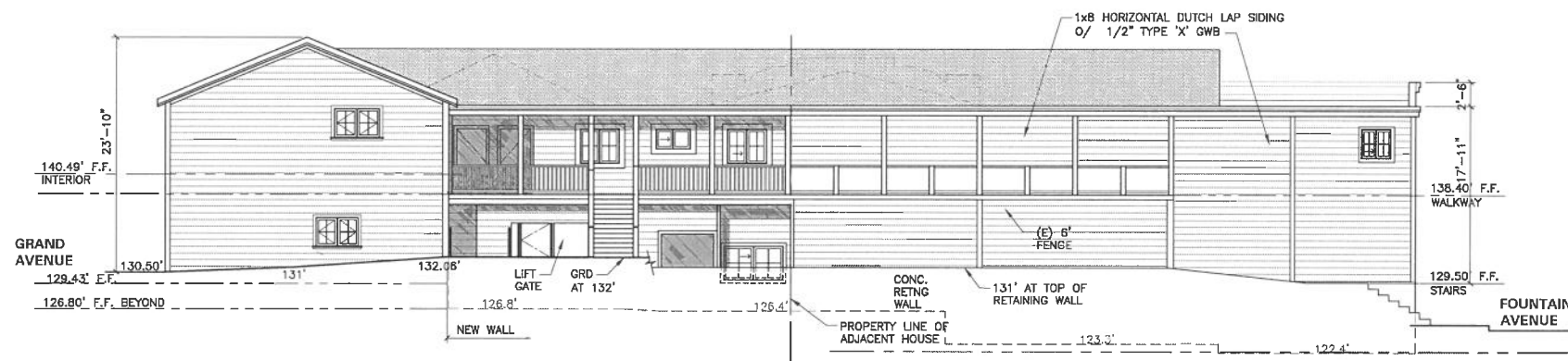
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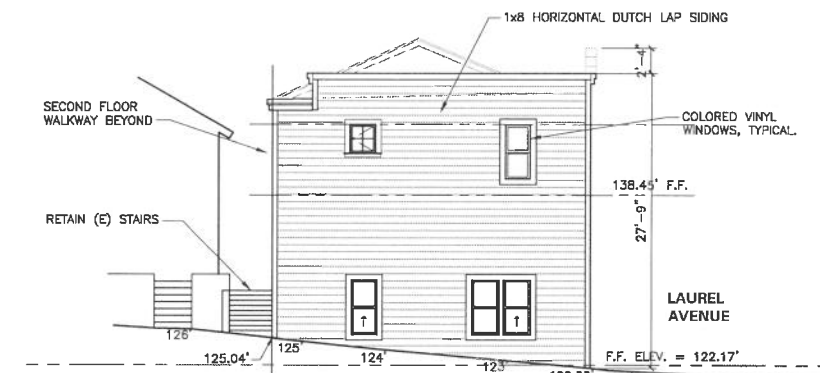
DRAWN BY: dr, jt
PRINT DATE: 04/10/18
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REVISIONS:

① SHEET NOTES:

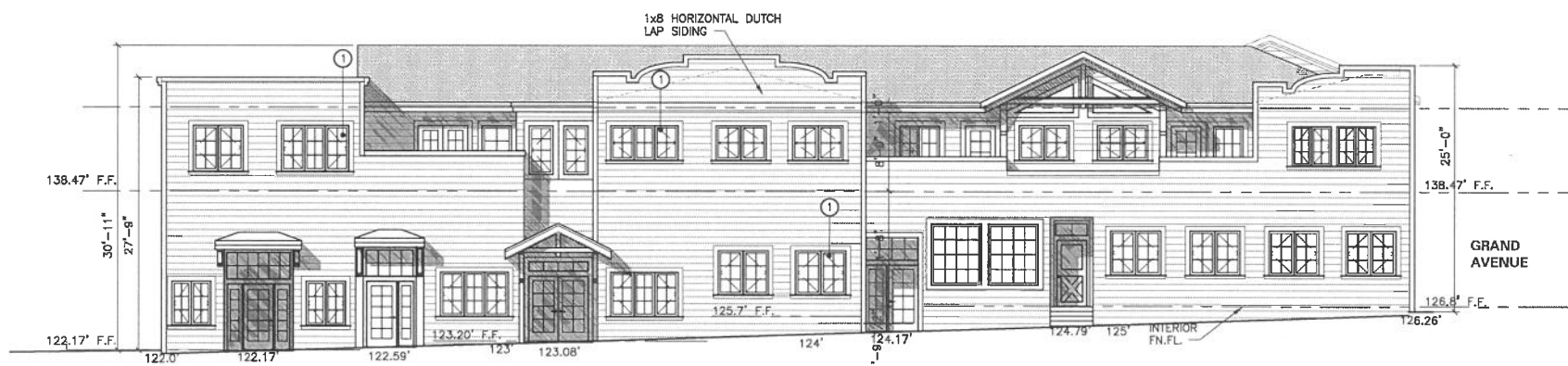
- ① EGRESS WINDOW, REFER TO PLANS A3.1 AND A3.2



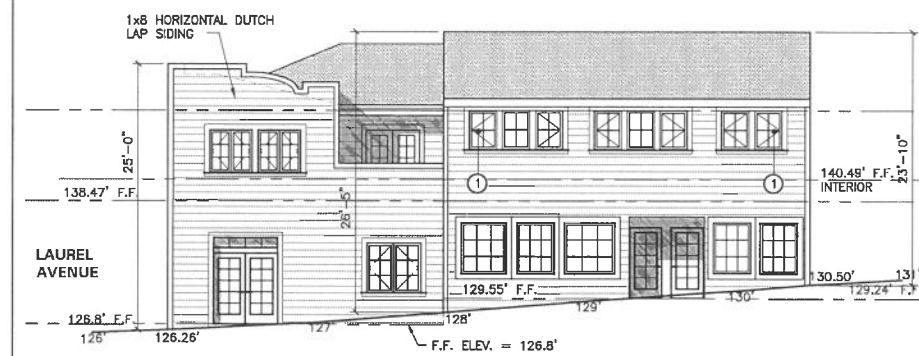
SOUTH ELEVATION - PARKING
SCALE: 1/8" = 1'-0"



EAST ELEVATION - FOUNTAIN AVE
SCALE: 1/8" = 1'-0"



NORTH ELEVATION - LAUREL AVE.
SCALE: 1/8" = 1'-0"



WEST ELEVATION - GRAND AVE.
SCALE: 1/8" = 1'-0"

SHEET TITLE:

PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER:

A-6.1

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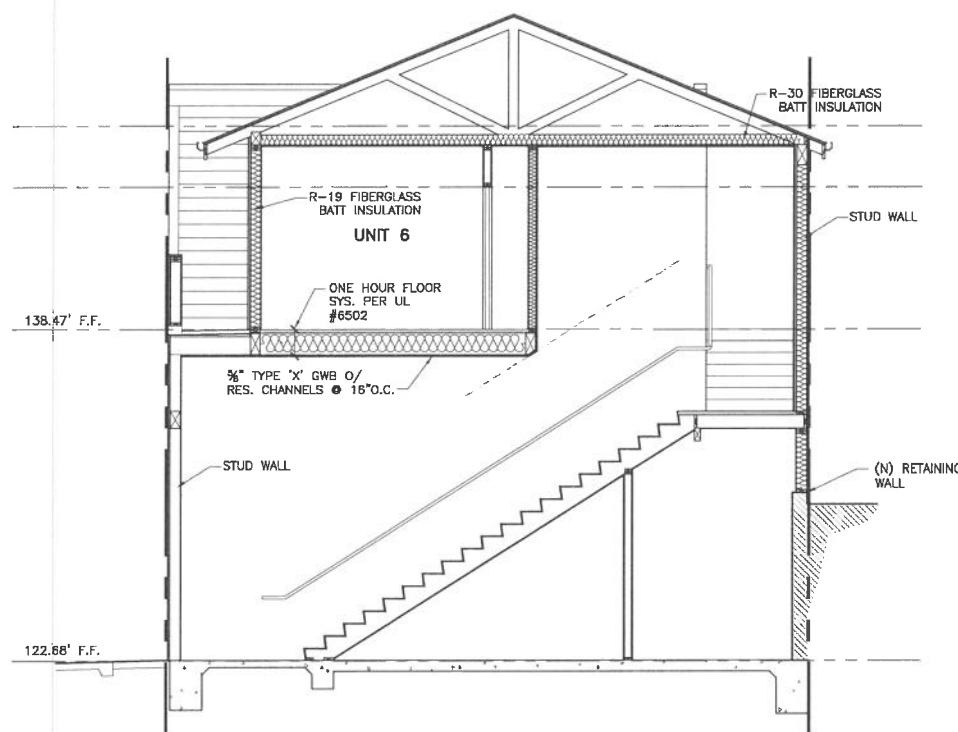
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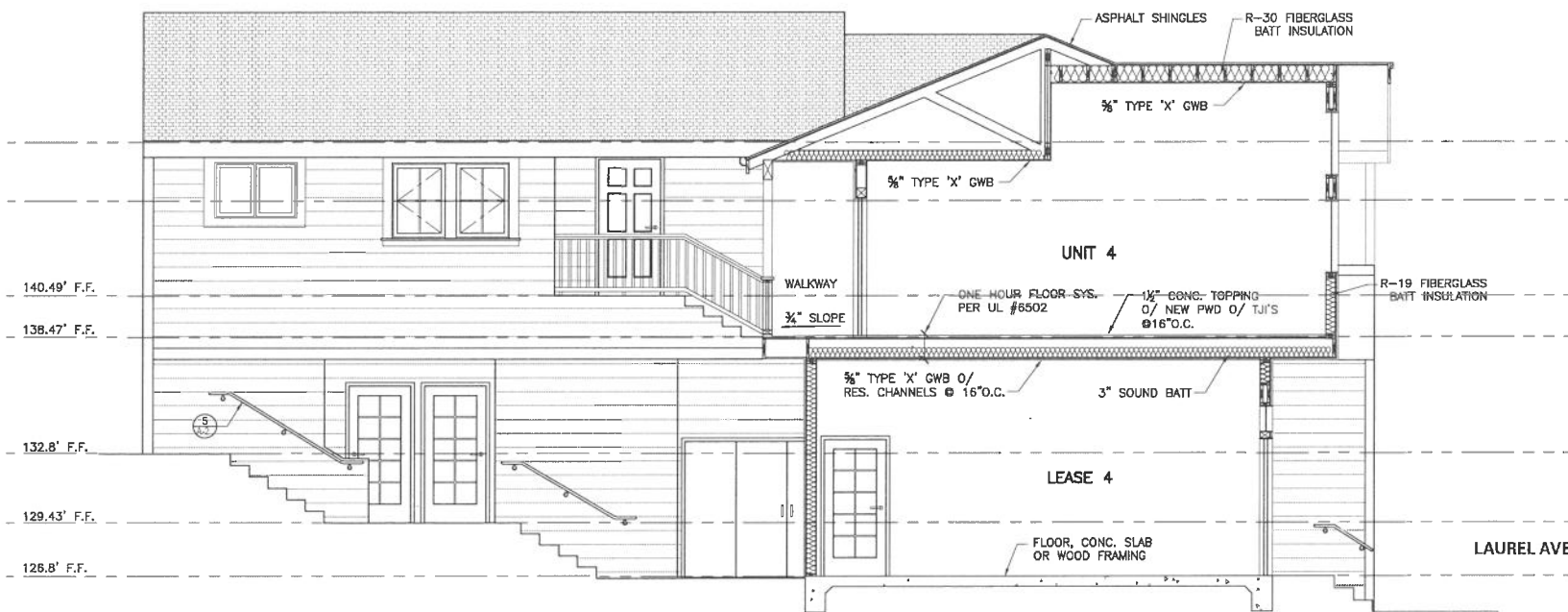
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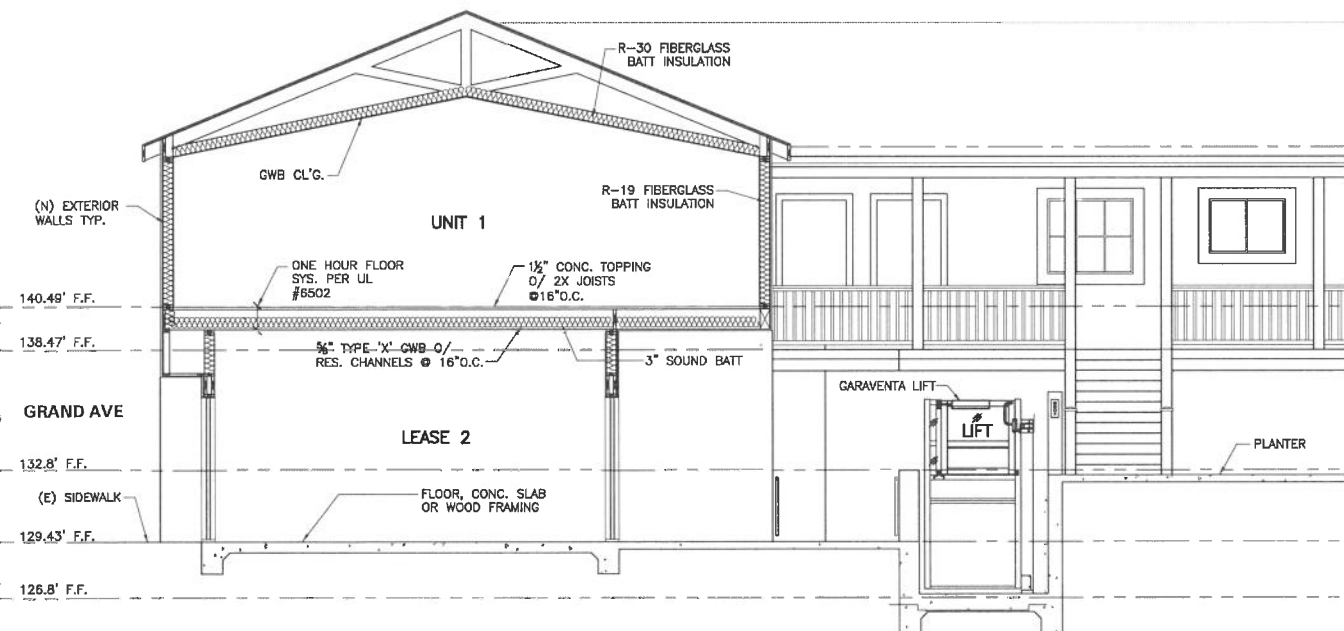
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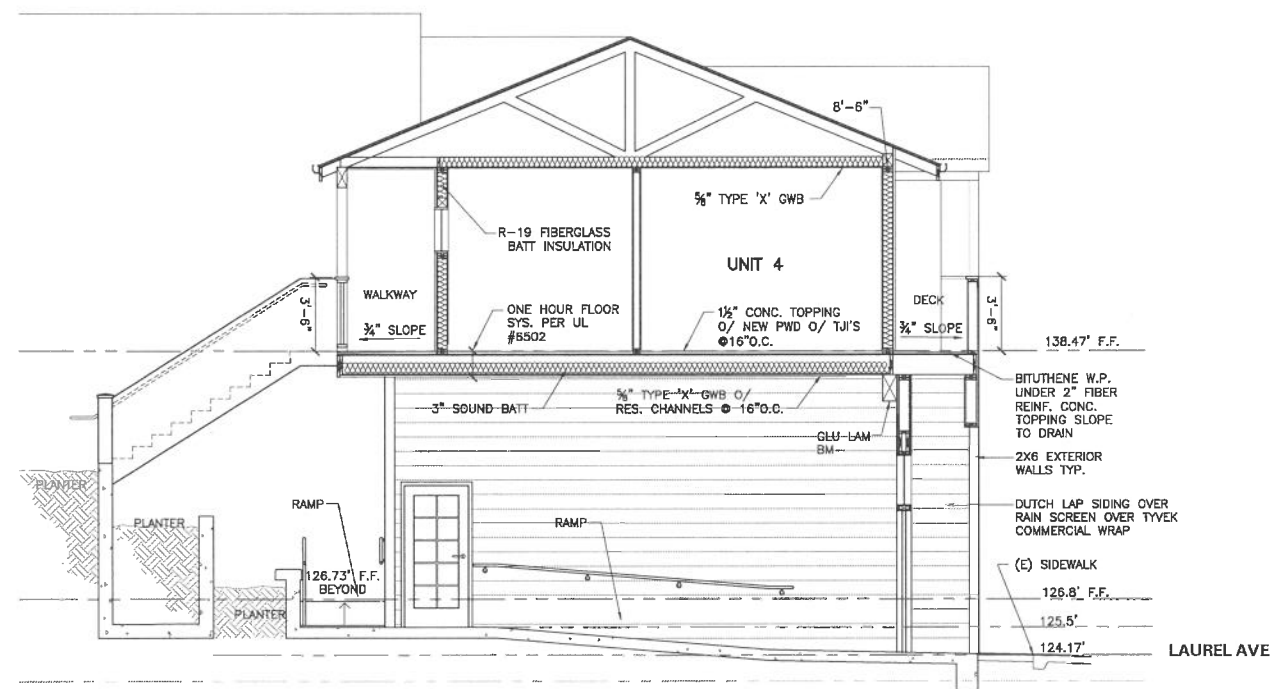
C BUILDING SECTION
A-8 SCALE: 1/4" = 1'-0"



B BUILDING SECTION
A-8 SCALE: 1/4" = 1'-0"



D BUILDING SECTION
A-8 SCALE: 1/4" = 1'-0"



A BUILDING SECTION
A-8 SCALE: 1/4" = 1'-0"

SHEET TITLE:

SECTIONS

SHEET NUMBER:

A-8

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